

**GRADON**ARCHITECTURE

Jarrow Hub Redevelopment  
Design and Access Statement  
REV A  
September 2017



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## Introduction

### 1.1 Statement

This Design and Access statement has been prepared in support of a Planning Application for the redevelopment of Jarrow Hub.

The project comprises of a redesigned entrance and vertical circulation strategy, together with internal reconfiguration and introduction of new glazing to the existing facades.

Internally, the Jarrow library currently situated to the west of the Jarrow Hub will be relocated to the western area of the ground floor.



Figure 1 - Site Location in context of Jarrow

## Assessment

### 2.1 Site Location

The Jarrow Hub is located to the east side of Jarrow Centre, bounded on the east by Staple Road, and below surface, the Tyne Tunnel.

There are residential areas to the north and east and Jarrow Shopping precinct to the west.

To the south there is a substantial car park which the main entrance opens directly onto.

There is a landscaped area also to the west, incorporating drop off facility.

Jarrow Metro station is within 500m walking distance and public transport routes surround the site.

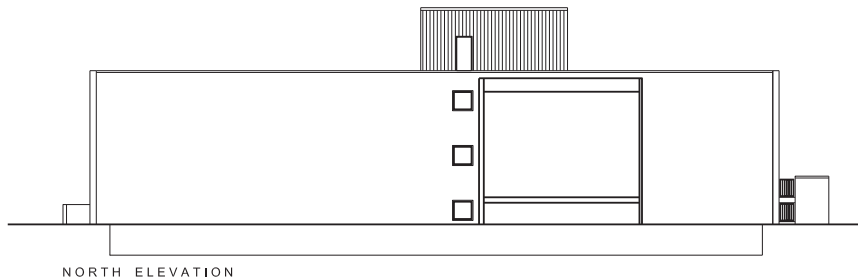
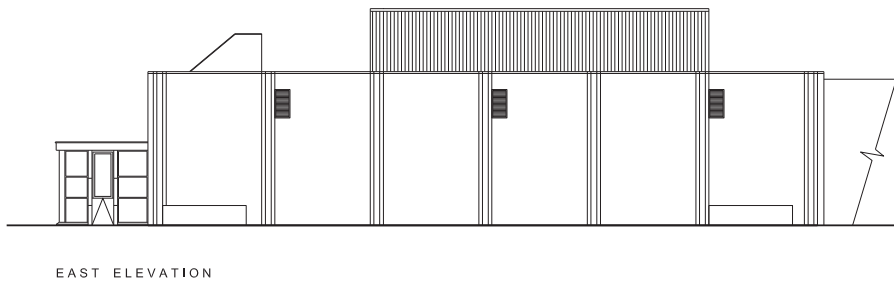
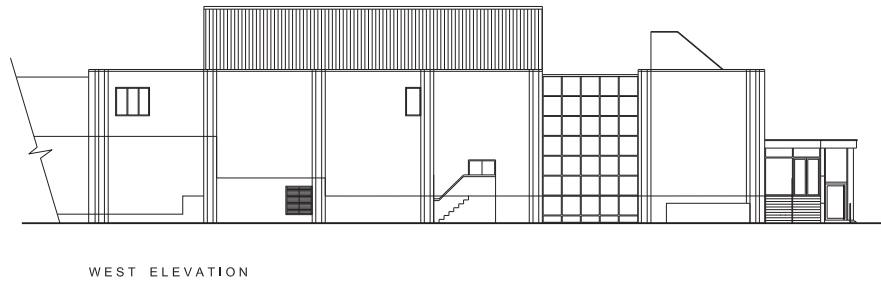
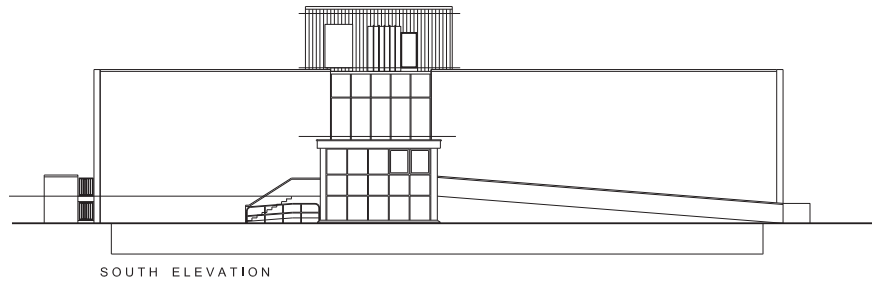


Figure 2.2.1 - Existing Elevations



Figure 2.2.2 - Existing Site

— Site Boundary

## Assessment

### 2.2 Site Analysis

The building is of steel framed construction with masonry outer skin, and dates from approximately 1972.

The site is generally level on all sides. The leisure centre connects to the remainder of Jarrow Hub through a circulation tower to the north of the building.

The building functions as a split level with ground floor approx 1500mm below street level, whilst upper level is 1500mm above. Access takes place via a pair of ramps adjacent to the entrance.

There are currently blank masonry elevations to the east and north sides, with a bank of glazing to the west, and predominantly blank elevation

Internally the building is open plan on the eastern side housing a double height volume multi-use sports pitch. There are gym areas to the western side at ground floor, with a theatre space and dressing facilities above. There is a partial 'fifth level' uppermost level which currently houses small dance studios.

In coming electricity is from the western side.

There are existing means of escape in the format of staircases from the east and west sides.

## Assessment

### 2.2 Site Analysis

The existing floor plans are indicated below in fig 2.2.3

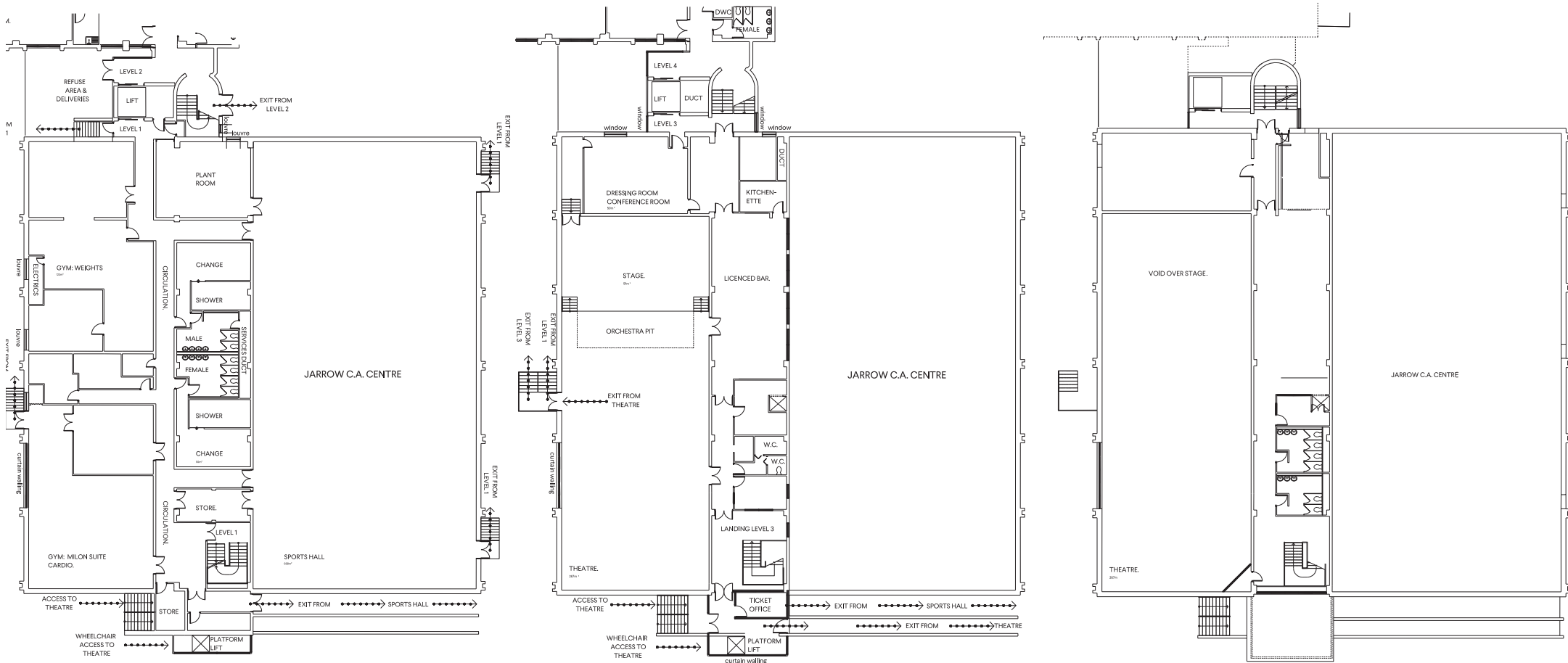


Figure 2.2.3 - Ground, First, and Second Floor Plan as existing



Figure 3.2.1 - Early Concept Visual

## Design

### 3.1 Use

The proposal is for revisions to the existing leisure facility to incorporate a library and customer service centre alongside the existing functions.

### 3.2 Design Development

It was considered that the existing building did not interact well with the public realm at ground level. Similarly, internal vertical circulation is not fully inclusive. This is exacerbated by the split level internal arrangement.

The clients requirements were to bring a front-of-house function to the building that could be utilised by all.

It was considered appropriate to give the building a more permeable interactive feeling, with the introduction of glazing and contemporary inviting materials.

Initial proposals were amassed that enabled easy access to all levels and presented the building with a clearly defined entrance. At this stage, the design team sought to obtain the views of the buildings users and local community, carrying out Public Consultation Events in October 2016.

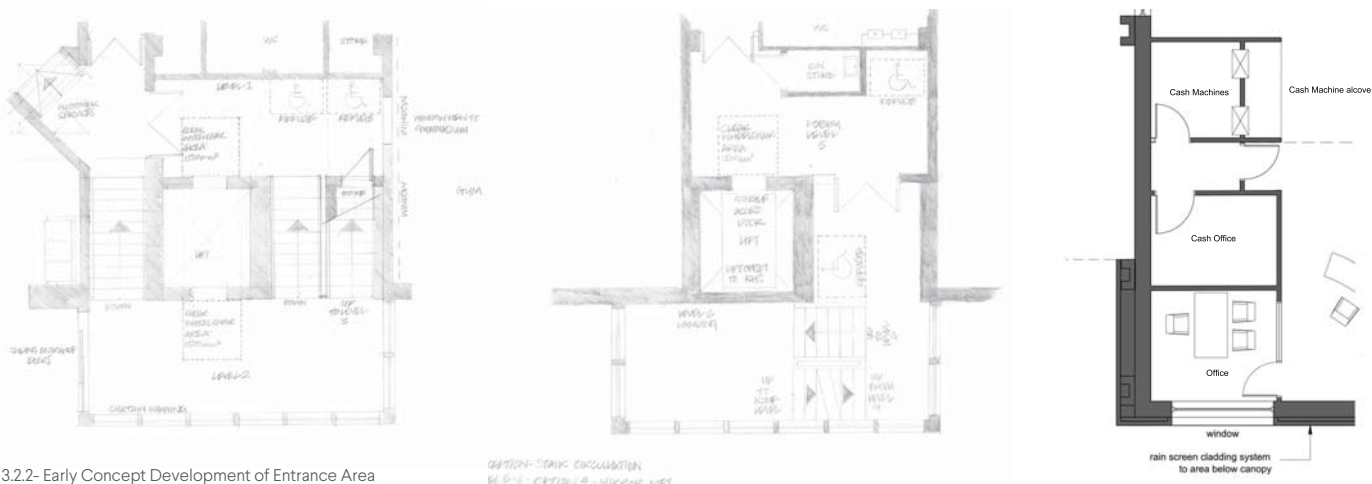


Figure 3.2.2- Early Concept Development of Entrance Area

# Public Consultation Drop in Events



South Tyneside Council has a long-term vision for the future of Jarrow Community Centre with investment to refurbish the building and update the facilities on offer.

The Council will be investing £3million to refurbish and develop the Centre into a vibrant hub for community life with:

- a new library offer
- a new leisure offer including gym equipment and fitness classes
- a Customer Service Centre offering a range of Housing and Area Management services through South Tyneside Homes
- a refurbished dance and theatre space
- facilities for people with disabilities will be retained

This is a long-term vision with work expecting to start late 2017 (early 2018).



South Tyneside Council

Community Consultation Flyer

DESIGN AND ACCESS STATEMENT

## Drop in events

Plans and building designs for Jarrow's new community hub are being unveiled to the public and we need you to tell us what you think.



### Visit us

The management and design team will be available to provide information and answer questions on:

- Tuesday 18 October 2016 at Jarrow Hub between 5pm and 8pm
- Thursday 20 October 2016 at Jarrow Hub between 4pm and 7pm

The designs will be on display to the public at Jarrow Hub throughout October 2016. If you are unable to attend or would like more information please contact: Mike Lindsey on 0191 424 7574 or email [mike.linsley@southtyneside.gov.uk](mailto:mike.linsley@southtyneside.gov.uk)

### Tell us what you think

1. What facilities would you like to see in the hub?

2. What fitness classes would you like there to be on offer and at what times, for example weekday/weekend, morning, afternoon or evening?

3. What would you like included in the gym area?

4. What would you like to see in the Library for example ICT, local history, children's library etcetera?

5. Use this space for any other comments.

Tell us your views by completing this card at one of our consultation drop-ins, post in the box provided or return to: Mike Lindsey, South Tyneside Council, Leisure Services, Cleadon Park Primary Care Centre & Library, 10 Prince Edward Rd, South Shields, NE34 8PS.

## Design

### 3.2.1 Public Consultation

Public consultation events were held in October 2016 to review the emerging design concepts.

The resulting responses are summarised below.

The comments received were considered by the design team and have influenced the formulation of the final design.

#### Jarrow Hub Consultation – Comments

- 1) What facilities would you like to see in the hub?
  - Coffee Bar/Snack Bar
  - Tourist Information and Adult education classes
  - Study areas that are suitable for group studies
  - Guidance advice and Healthy Eating courses
  - A 4 Badminton Court Sports Hall for league matches as team will lose their presence in North East Badminton League
  - Monitored Disabled Parking Bays – Blue Badge
  - Arts – Theatre and space for Art Exhibitions/Installations
  - Theatre, ICT Workshops, Dance Studios
  - Secure cycle bay facilities
  - More facilities for elderly
  - Big Local
- 2) What fitness classes would you like there to be on offer and at what times, for example weekday/weekend, morning, afternoon or evening?
  - Aerobics, Steps and Spinning classes on evenings
  - Tai Chi, Yoga, Zumba and Pilates
  - Tone, Tighten and Trim classes
  - Dancing on evenings
  - Fitness classes running during school times for parents
  - Weekend fitness classes
- 3) What would you like included in the gym area?
  - Resistance machines – Cable Cross Over, Lat Pull Down, Shoulder Press, Leg Extension/Curl
  - Accessible equipment for older people and people with disabilities e.g. Easyline
  - A good range of Equipment for all
  - Toning Tables and Sauna
  - A Ladies only section or sessions
- 4) What would you like to see in the Library for example, ICT, local history, children's library etcetera?
  - Everything that is in South Shields Library and modern technology for older people
  - Free use of computers and WIFI, ICT courses
  - Notice boards to advertise local events and display cabinets for local artists/crafts
  - Local history
  - Children's library
  - Reference library



## Design

### 3.3 Amount

There is no tangible change to the floor area of the building.

### 3.4 Layout

The existing ramps providing access to the building will be omitted in lieu of a new portico giving direct access to a lift to all floors.

Level 1 will house the library and customer services to the west side, with multipurpose games space to the east and a gymnasium.

Proposed Levels 1,2 and 3,4 are shown opposite in Fig 3.4.1.

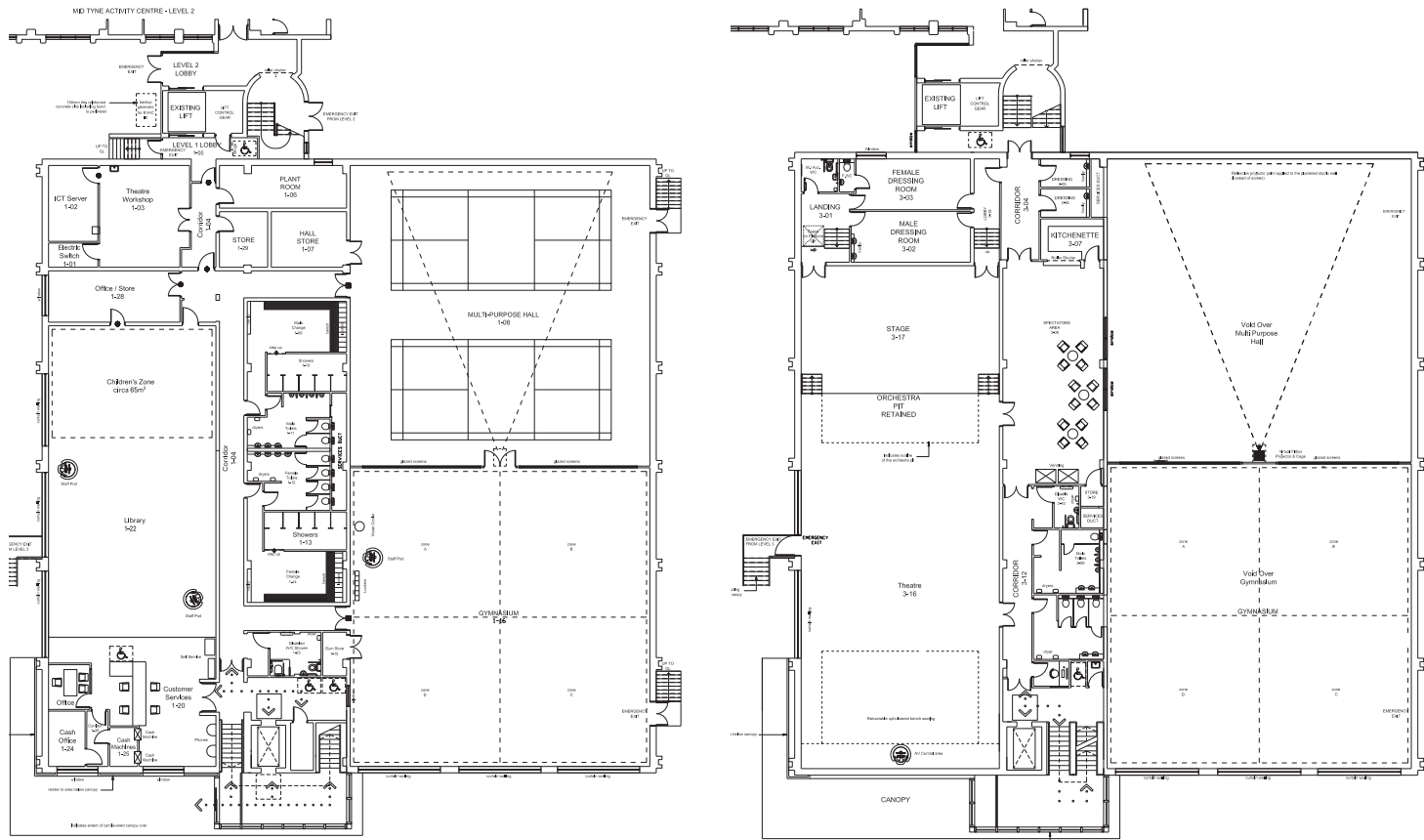


Figure 3.4.1 - Proposed Lower Level Floor Plans



## Schedule of Accommodation

Proposed accommodation within the new configured building (Jarrow Hub) is provisionally as follows:

### LEVEL ONE:

- Concourse/Reception
- Customer Services and Cash Office
- Managers Office
- Public Library
- Librarian Office and Store
- Theatre Workshop
- Sports Hall (2 no. badminton courts) and Sports Store
- Gymnasium and Gym Store
- Male, Female and Disabled washrooms, changing & showers
- General Store
- Cleaners Store
- Server Room
- Plant and Electric Rooms
- Circulation space including staircase and EVAC passenger lift

### LEVEL TWO:

- Entrance Lobby and lift access

### LEVEL THREE:

- Theatre Reception and Box Office
- Theatre, Orchestra Pit and Theatre Stage
- External Fire Exit from Theatre
- Male and Female Dressing Rooms including privacy lobby
- Leading Roles Dressing Rooms (2No.)
- Kitchenette

- Theatre overspill/Café Lounge & Spectators area
- Void overlooking Sports Hall below
- Male, Female and Disabled washrooms
- Cleaners Store
- Circulation space including staircase and EVAC passenger lift

### LEVEL FIVE:

- Dance Studios (2No.)
- General Store
- Male, Female and Disabled washrooms
- Cleaners Store
- Circulation space including staircase and EVAC passenger lift

### LEVEL SIX:

- Circulation space including staircase to access roof level.
- Rooftop Plant Room

### MID TYNE ACTIVITY CENTRE ARRANGEMENTS:

- Creation of a new staff rest room including small kitchenette and table/chairs using space currently occupied by a kitchen on level 4. Location as shown on drawing AD6072 – 11.
- Existing passenger lift refurbishment & modifications to controls.
- Physical segregate with CA Building by the installation of electronic roller shutters to existing staircase enclosure on levels 2 and 4.

## Design

### 3.4 Layout

The revised layout proposal is indicated in the adjacent Schedule of Accommodation fig 3.4.3

## Design

### 3.5 Scale

The scale of the building remains as existing. The proposed revised entrance and circulation tower will extend vertically to provide access to all levels including the roof.

### 3.6 Appearance

The elevation treatment proposed is an area of recladding to the front of the building to be rendered in off-white and branded accordingly to provide a greater entrance presence.

A full height glazed screen with framed entrance surround articulates the entrance to the building located centrally.

There are panels of glazing introduced to the south and west elevations to improve the internal environment with natural daylight, and enable visual interaction between internal activities and outside.

All glazing to be grey-coloured aluminium framed.

A covered canopy is proposed to provide shelter to arrivals and users awaiting collection.



Notes:

#### Materials Key

- ① Existing Red Brick.
- ② External Acrylic Flexible Render System. Colour: Cool White.
- ③ Aluminium Curtain Walling System with powder coating finish. Colour: Dark Grey.
- ④ Aluminium Window with polyester powder coat finish. Colour: Dark Grey.
- ⑤ Aluminium Faced Canopy. Colour: Dark Grey.
- ⑥ Existing Profile Metal Cladding Roof.

Figure 3.6.1 - Proposed Elevations

## Design

### 3.6 Appearance continued.



Notes:

#### Materials Key

- ① Existing Red Brick.
- ② External Acrylic Flexible Render System. Colour: Cool White.
- ③ Aluminium Curtain Walling System with powder coating finish. Colour: Dark Grey.
- ④ Aluminium Window with polyester powder coat finish. Colour: Dark Grey.
- ⑤ Aluminium Faced Canopy. Colour: Dark Grey.
- ⑥ Existing Profile Metal Cladding Roof.

Figure 3.6.2 - Proposed Elevations



## Design

### 3.7 Landscaping and Boundary Treatment

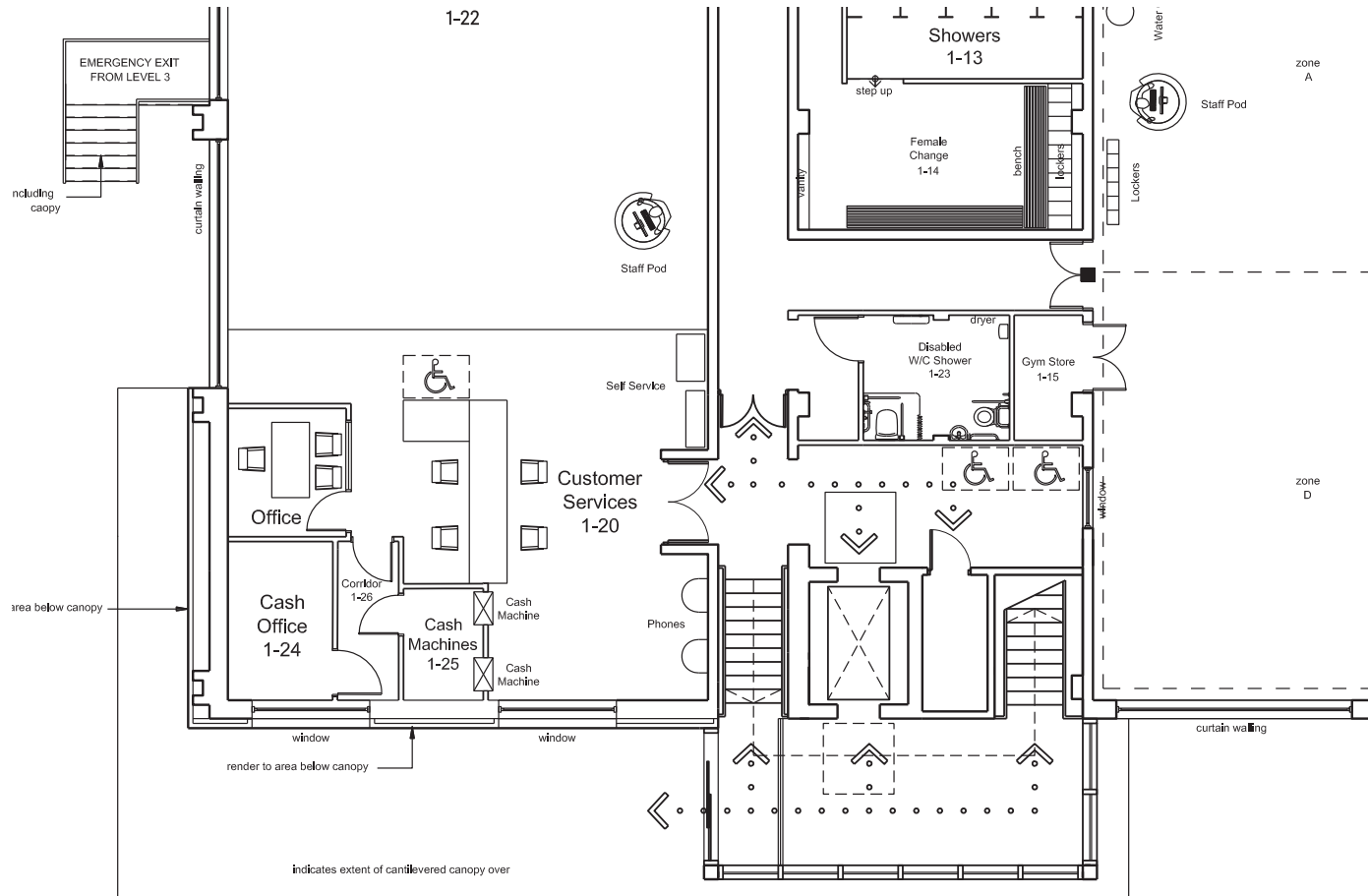
There are no proposed changes to landscape externally, with the exception of removal of existing tree to the south west corner, and incorporation of additional accessible and staff parking spaces.

All alterations involving interface with public realm will be made good accordingly, specifically the area left over following the removal of the existing ramps.

### 3.8 Refuse Strategy

There is no amendment proposed to existing refuse strategy.

Figure 3.7.1 - Proposed Site plan



## Access

### 4.1 Access Statement

The dwelling has been designed to allow inclusive access to all with a level approach to the principal entrance.

Internally all new doors and circulation spaces will be sized to accommodate inclusive access as stipulated in Part M of the Building Regulations.

A readily accessible WC is located adjacent to the principal entrance.

It is considered that the new access lobby will provide an improved inclusive access strategy and simplify vertical circulation for all users.

### 4.2 Car Parking

An additional five accessible bays will be located adjacent to the western gable of the building, with a further four accessible bays adjacent to the east of the Jarrow Library.

There will be nine new staff parking spaces to the east of Gospel Hall and a drop-off area and minibus parking space introduced in the area between Jarrow Hub and Millennium Phab Club.

Other drop-off areas associated remain unchanged.



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