

## Design & Access statement

Proposed Residential Development  
Egerton Road, South Shields

Completed on behalf of:

HD Homes

April 2017

Project reference: 8455



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## CONTENTS:-

1.0: - Introduction & Project Brief

2.0: - Consultant Involvement

3.0: - Site Context & Character

4.0: - Proposed Design & Context

5.0: - Proposed Plans & Pre-Application Advice

6.0: - Strategic Land Review

7.0: - Sustainability, Context, Accessibility & Materials

8.0: - Architects Impression

APPENDIX A: - Pre-application advice

APPENDIX B: - Extract - South Tyneside Strategic Land Review



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Overhead View - Existing Site  
(not to scale)

- 1: Site boundary indicated in red : —  
 2: The Lodge Residential Care Home  
 3: Pharmacy & Medical Centre  
 4: Tynedale Funeral Directors  
 5: Open public park space

## 1.0. INTRODUCTION

Dixon Dawson Architects have been commissioned by HD Homes to prepare a full planning submission for a site which they own at Egerton Road, South Shields.

The site is currently operating as a dairy building consisting of a two storey section at the North end of the site with a single storey shed/ warehouse building which runs along Egerton Road to the South.

This design statement is submitted to help to explain the brief from the owner, the design process which has been carried out and the end result design which is submitted for consideration.

## PROJECT BRIEF

The site will be changed to residential use from its vacant commercial use. There are no other use classes proposed.

The developers aspiration is to provide good sized 2 bedroom apartments for release into the private rental markets.

The choice of apartments above houses was made based upon advice from an estate agent and the clients experience and existing property portfolio.

Whilst there is no target number of properties the development has been designed to fit within the constraints of the site together with separation distances which would be acceptable to the Council and are characteristic of the area.

All units will have an off road allocated parking space together with access to communal cycle parking and communal refuse collection areas.

Initial indications are that the development would be constructed in one phase. This will be reviewed in due course as the scheme progresses.



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## 2.0 - CONSULTANT INVOLVEMENT

Dixon Dawson have worked closely with a number of consultants throughout the planning process taking into account the validation requirements requested by South Tyneside council at pre app stage including :

|                               |                                                               |
|-------------------------------|---------------------------------------------------------------|
| Identity consult              | - production of affordable housing statement.                 |
| Billinghurst George engineers | - preliminary drainage / SUDS scheme.                         |
| Tree survey                   | - MD landscape architects.                                    |
| Solmek                        | - Phase 1 site investigation & land contamination assessment. |
| Traffic assessment            | - Development planning Ltd.                                   |
| PB imaging                    | - CGI streetscene image.                                      |



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PHOTO A:



PHOTO B:



PHOTO C:



PHOTO D:



PHOTO E:



PHOTO F:



PHOTO G:



PHOTO H:



### 3.0 - SITE CONTEXT & CHARACTER

Displayed opposite are a number of photos of the existing site and surrounding area.

Photo A:

The existing area is characterised by turn of the century 20th century brick built 'Tyneside' terraces. There are a combination of both residential flats and houses. The majority of surrounding properties are two storey with pitched slate or tiled roofing.

Photo B:

Egerton Road is faced on one side by a 2 storey terrace. Each of the properties have been altered over time with additions of porches, bay windows, front walls and alterations to the facing materials.

Photo C:

Egerton Road currently has on street car parking which serves both residents and visitors to the area. The road is a secondary road connecting the more densely populated surrounding terraces.

Photo D:

To the South of the development is an area of open park green space.

Photo E:

To the east of the site the park wraps around the rear of the site. Separation of the site is by a brick wall with fence top.

Photo F/ G:

Shows the existing buildings on the site which will be demolished to make way for the proposals.

Photo H:

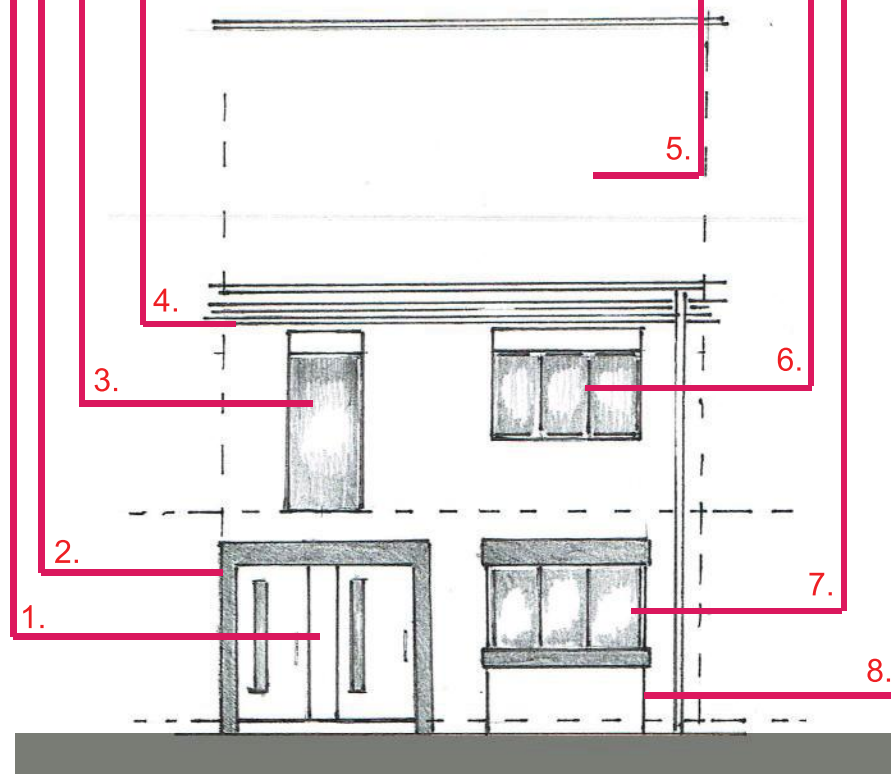
To the North of the site is the existing Tynedale Funeral Directors which is outside of the site/ development boundary.



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PROPOSED TERRACE FRONT ELEVATION  
APPROX 1:100 SCALE

## 4.0 - PROPOSED DESIGN AND CONTEXT

The design of the proposed dwellings seeks to be a contemporary take on the surrounding terraced properties. The notes below correspond with key elements of the design:

- 1: Front doors to each flat are located next to one another.
- 2: Canopy provided to front doors. Although not present throughout Egerton Road this has been included to provide better accessibility into each unit by means of weather protection.
- 3: Vertical emphasis and central position of first floor window above doors is mirrored on the new design.
- 4: Feature bands of brick work / corbelling will be included on the new roof design.
- 5: Pitched roof two storey design to match existing terraces.
- 6: Central window split into 3. This is not a bay window as helps to reduce overlooking into existing neighbouring houses.
- 7: Bay window on ground floor is consistent with neighbouring terrace. Also provides additional space to ground floor where space is lost under stair serving first floor apartments.
- 8: All houses will be set back from the back of footpath. This helps to create privacy and areas of green space along the frontage of the properties.

Picking up key elements from the older terraces is important in place making and establishing the new buildings on the site.

South Tynesides Urban Design Framework notes that *'there is no stylistic imperative that should be applied to South Tyneside. Conversely, it is necessary to use good designers for the many different building types and locations, the form, materials and details varying place by place.'*

Key items the STUDF (page 43) goes onto mention are that:

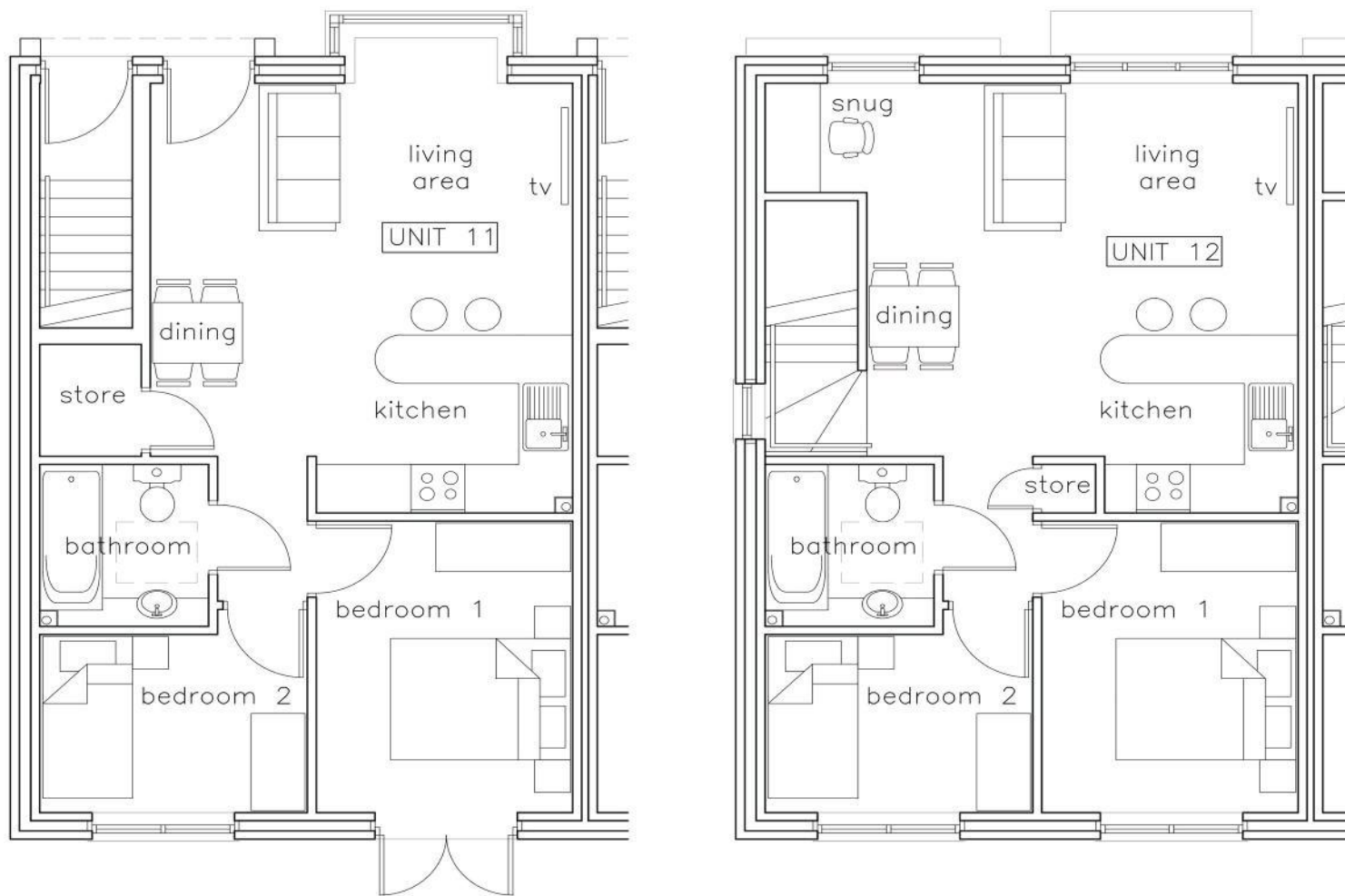
- Buildings should create enclosure and definition to the public and private spaces around them and should be appropriate to the character of the local area.
- There should be 'active' frontages: avoid long blank walls and buildings (entrances, public rooms, balconies, bays and porches for example) which 'reach out' to the street.
- Buildings should be good neighbours, respecting an area (or street)'s vertical and horizontal rhythms, building heights, built form, adjacent building heights, roof and cornice lines, local materials, and of course being first rate architecture.
- The exceptional is permissible as long as it adds to the magic of contrast, drama and innovation.
- Develop a material and detail strategy that responds to the local climate – selecting materials that look good in all weathers.

We feel that our design for the Egerton Road site has considered the above and has therefore been designed appropriately.



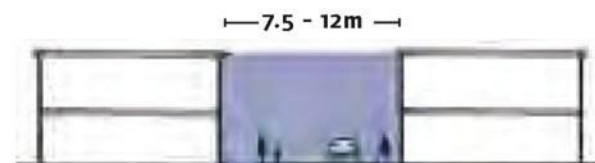
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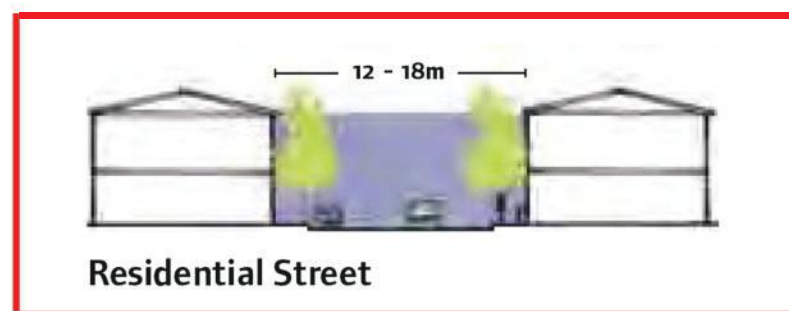


PROPOSED GROUND FLOOR PLAN  
APPROX 1:100 SCALE

PROPOSED FIRST FLOOR PLAN  
APPROX 1:100 SCALE



Mews



Residential Street

Figure 5.3 Typical widths for different types of street.

Manual for Streets

## 5.0 - PROPOSED PLANS AND PRE-APPLICATION ADVICE

The new apartments will all have 2 bedrooms, open plan lounge/ kitchen/ dining rooms. The choice to go open plan is based more upon modern ways of living. It also means that more space can be allocated into the bedrooms for adequate storage and wardrobe space. The bedrooms are also designed to accommodate double beds.

The new apartments have been designed to take on board comments which, have been received by the local authority (copy of pre-app including in Appendix A) in connection with separation from the neighbouring houses. This also fits with 'Manual for Streets' design guide:

*5.4.2 Width between buildings is a key dimension and needs to be considered in relation to function and aesthetics. Figure 5.3 shows typical widths for different types of street. The distance between frontages in residential streets typically ranges from 12 m to 18 m, although there are examples of widths less than this working well. There are no fixed rules but account should be taken of the variety of activities taking place in the street and of the scale of the buildings on either side.*

The new apartments have been designed to have a minimum separation distance of 14m from the opposite block, with the northern most block 15m away. These distances are in accordance with the Councils pre-application comments.

Each apartment is set a minimum of 1m from back of footpath to create privacy and small green spaces.

The end unit of each block of the terrace will have gable windows to provide passive surveillance over car parking areas and bin stores.

<sup>14</sup> DETR/CABE (2000) *By Design: Urban Design in the Planning System: Towards Better Practice.* London: Thomas Telford.



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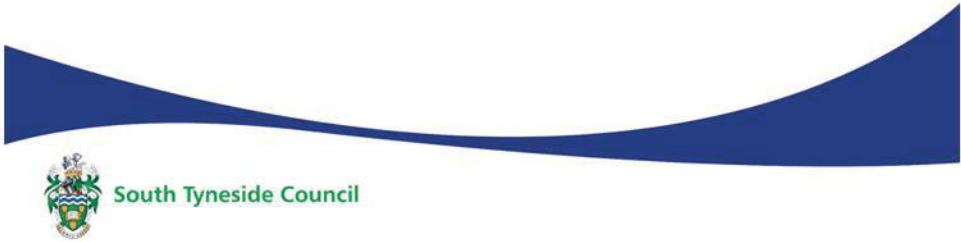


Fig - cover from 'South Tyneside Strategic Land Review

|                                                                                             |                                                             |                                                                                                                              |
|---------------------------------------------------------------------------------------------|-------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------|
| SLR Ref: OSS24<br>SHLAA Ref: ss.22.001                                                      | Site Area:0.7ha                                             | Site Location: Land at Associated Creameries and adjacent open space, Egerton Road, South Shields                            |
| Land Use: Former creameries factory / Open space<br>Adjacent Uses: Residential / Commercial | Site appraised for: Residential / B-use class Economic Devt |                                                                                                                              |
| Site Photos                                                                                 |                                                             | Designations Map                                                                                                             |
|                                                                                             |                                                             |                                                                                                                              |
|                                                                                             |                                                             | Key Designations / Allocations:<br>LDF Housing Allocation / Coal Resource and Standing Advice Area / Recreational Open Space |
|                                                                                             |                                                             | Adjacent Designations / Allocations:<br>District and Local Neighbourhood Shopping Centre                                     |

Fig - extract of site location and appraisal

| Suitability and Conclusion                                                                                                                                                                                                                                                                                                |                                             |                                                         |                                                 |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------|---------------------------------------------------------|-------------------------------------------------|
| Due to the site's overall low impacts, it is considered suitable for residential development, but is unlikely to be viable for new B-use class economic development. The open space part of the site is potentially suitable for development, but the impact on green infrastructure would need to be considered further. | Site is considered suitable for development | Site is considered potentially suitable for development | Site is not considered suitable for development |
|                                                                                                                                                                                                                                                                                                                           |                                             | ✓                                                       |                                                 |

Fig - suitability and conclusion

6.0 - STRATEGIC LAND REVIEW

South Tyneside Council undertook a Strategic Land Review in March 2016 which identified the development site as a potential site for residential development. A copy of the relevant pages from the strategic review is included within Appendix B. The site which was identified by STC includes part of the adjacent green space however we must note that this is not included within the applicants ownership and has therefore been excluded from the development plans.

The site is identified by reference SLR SITE REF: OSS24.  
Land at Associated Creameries and adjacent open space, Egerton Road, South Shields.

We have extracted items from the document which we feel relevant to the proposal taking into account that the green space adjacent to the proposal will be retained and therefore mitigation against loss of green space is irrelevant.

**Infrastructure:**  
*The scale of development is not condiered to put significant pressure on local capacity, particularly roads.*

**Deliverability:**  
*No. of homes which could be provided 32.  
Due to the sites overall low impacts, it is considered suitable for residential development.*

**Historic Environment & Culture, Flooding, Ground Conditions & Contamination:**  
*All are classed as zero/low impact - no or minimal mitigation required.*

**Biodiversity:**  
*It is considered that this site will have little or no impact on biodiversity*

**Protecting our Green Belt:**  
*The site is non-Grenn Belt land. Therefore development of this site is considered to have a postive impact against the objective as it could divert development away from Grenn Belt Land.*

**Heritage & Cultural Assets:**  
*The site is not within close proximity to any heritage assets.*

**Promote sustainable transport & accessibility:**  
*The site is close proximity to numerous public transport links.*

**Ensure the vitality of our town centres & villages:**  
*The site is in close proximity to an existing district centre.*

**Provide better housing**  
*Development of this site for housing could contribute to providing better housing and neighbourhoods in this area.*

**Promote healthier people & communities**  
*It is considered that this site would have a positive impact on this objective.*

**Assessment Summary**  
*This site scores positively against a number of objectives.*

A copy of the relevant pages from the strategic review is included within Appendix B.





7.0 - SUSTAINABILITY, CONTEXT, ACCESSIBILITY & MATERIALS

Sustainability:

A sustainable approach will be taken in accordance with the following measures & SPD1:

The development will maximise the opportunity to redevelop previously developed land. The existing commercial building is in a poor state of repair & partially vacant building which is visually unattractive upon the adjacent residents in a densely populated residential area. This will provide a positive contribution to the area & an improved outlook to adjacent residents with high quality design enhancing the built environment.

The layout of the site has considered the need to reduce crime & anti social behavior. The site will have open frontage and good visibility to parking areas & all access to the units will be via the adopted footpath to the front of the site. All areas will be suitibly floodlighted.

The site is located in the town centre with excellent links by foot to local amenities including shops, restaurants & public facilites together with close proximity of bus stops. Please refer to the traffic assesement for a detailed analysis of transport links carried out by Development planning. Secure cycle proviison will be made availablefor each unit with lockable storage promoting sustanible transport & healty living together with anti vandal design.

A SUDS system will be implemented in accordance with the pre development enquiry carried out with NWL. Please refer to the detailed drainage design submitted & carried out by BGP engineers.

Reycling & use of waste has been provided in accordance with South Tyneside council requirements to provide communal waste & recyling at a level of 480 litres per unit.

The fabric of the building will be constructed with enhanced U values & recycable products to achieve compliance with the the thermal requirements of approved document L which will be calculated by SAP reports. Compliance with accredditted details to reduce cold bridging. Inclusion of low energy light fittings will be included throughout.

The use of the building will be flexible by providing 2 bedrooms therefore suitable for single person to small families & will be aimed at the lower end of the market to provide affordable housing. Level access is provided to most of the proerties to allow the flexibility of whelchair access.

The extent of trees to the East boundary wil be retained & landscaping will be incorporated where possible to promote high qulaity design & ecology in the area.

The overall concept of quality design in lieu of the former visually poor commercil buildings will drastically improve the quality of the area & in turn improve the health & well being of local residents. This will also help to prevent deterioration of local air quality levels.

The location in the town cenre will provide excellent job opportunities for the new residents.

Context:

Design of the proposals has been undertaken with reference to key policy, design guide and local plan.

Taking into account the below statemented from 'The South Tyneside Councils Design Statement Guide' the modern take on the traditional terrace should be seen as a positive design that has taken cues from its surrounding context:

*'No two places are identical and there is no such thing as a blue print for good design. Good design always arises from a through and caring understanding of place and context.'* (by Design - Urban Design in the Planning System: towards better practice).

South Tynesides Urban Design Framework encourages active frontages onto streets. The internal layout of the apartments positions the lounge/ kitchen areas on the front with access doors. The more private bedrooms located to the rear on the quieter side facing the green space and garden areas.

Accessibility:

'Manual for Streets' recommends the importance of picking up local distinctiveness as well as how the building relates to the roads and its use. The design of the terrace is also suggested as a positive step towards way finding and enclosure:

*'Continuous building lines are preferred as they provide definition to, and enclosure of, the public realm. They also make navigation by blind and partially-sighted people easier.'*

The new apartments will be designed in accordance with Part M of the building regulations. Level access will be provided to all principle entrance doors. Car parking will be available for each apartment and access into the houses from each bay will be by level/ ramped approach.

Materials:

The following materials are proposed :

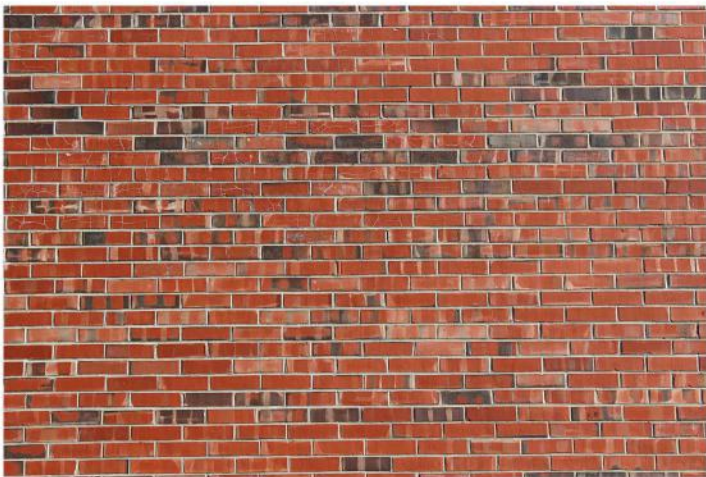
- |                      |                                                     |
|----------------------|-----------------------------------------------------|
| Facing brikwork      | - Weinergerger Terca Oakwood multi facing brick.    |
| Windows & rear doors | - PVCu colour grey.                                 |
| Front doors          | - Composite doors with natural woodgrain appearance |
| Gutter & downpipes   | - PVCu half round colour black.                     |
| Roof tiles           | - Marley Thrutone fibre cement roof slate.          |



Man made dark grey tiled roof. Brick corbel details will be used to add visual interest and a response to neighbouring properties. - (Photo Dixon Dawson scheme at Craghead, Durham)



Windows and door frames will be dark grey upvc. This is to create a modern clean look throughout the new build proper-ties. - (Photo Dixon Dawson scheme at Heaton, Newcastle)



Facing brick work is the overriding local material. A mixed multi brick with some colour variation is proposed.



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PROPOSED ARCHITECTS IMPRESSION  
RESIDENTIAL DEVELOPMENT AT EGERTON ROAD, SOUTH SHIELDS



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FORMAL PRE APPLICATION ADVICE

Formal pre application advice was received from South Tyneide council dated 10 February 2017 ref ST/1215/16/FENQ& in general the principle of the residential developent was accepted. We have addressed the main points below :

*The site is located in an accessible location with good access to public transport networks, bus and metro, local shopping facilities at Stanhope Road and the district shopping centre at Boldon Lane. The site is located on an existing developed site within the urban area and would provide a sustainable location. The details of the scheme will need to consider environmentally sound practices for design, energy efficiency, use of materials, designing out crime and drainage to demonstrate the sustainability benefits of the proposals. A sustainability statement is required and SPD1 sets out considerations for efficiency, sustainable construction etc.*

Please see page 9 for sustanability statement.

*Policies ST1, SPD 5 and SPD 4 refer to planning obligations in relation to the provision of affordable housing. South Tyneside Council's current plan requires the provision of 25% affordable housing on all sites over 15 units. In accordance with SPD4: Affordable Housing the council will normally look to secure affordable housing delivery on site, but this is negotiable on a site by site basis and a commuted sum may be acceptable dependent on viability and suitability. In relation to the site at Egerton Road, the wider area is typified by Tyneside flats and features a strong private rental offer towards the lower end of the market. In addition there is a high level of affordable housing present in the area. With this in mind the proposal would not meet affordable housing need. Furthermore, within the borough the need is for affordable houses rather than flats. Therefore a commuted sum would be more appropriate for this proposal. Commuted sums are calculated as the difference between the open market value of the units which would be for affordable housing, and the value a registered provider would pay for the units. Negotiations will be based on this and a viability assessment. If there are vacant buildings on the site, a vacant building credit can be applied for. This will be taken into consideration with any affordable housing requirements reducing in line with the applied credit. The vacant building credit applies to both the provision of units and commuted sums.*

Following detailed analysis the site was deemed unfeasible for affordable houses & additional flats were required. Please refer to the submitted affordable housing ststement prepared by Identity consult.

*SPD 6 proposes a maximum provision of 2 spaces per dwelling plus one space per 3 dwellings for visitors. Each space should measure a minimum 4.8 m by 2.4 m with 6 m manoeuvring space. One cycle space per dwelling is also required as specified in SPD6. This can be in the form of secure communal areas in high density developments. The planning statement refers to the provision of communal cycle parking but this is not indicated on the proposed layout drawing and should be included. Further advice is given I SPD6. Within the proposed development scheme, one carparking space per. mits-provided in a series of 4 parking courts. The proposed development site is located approximately 50m from Tyne Dock Metro station and close to the bus services on Stanhope Road. Local facilities are nearby at Stanhope Road and Boldon Lane. Given the location of the site in relation to public transport services and local facilities, this level of parking for residents is considered to be acceptable. No on site visitor parking is provided. SPD 6 advises 10 spaces would be required for a development of 30 units. The parking manager advises that there is parking pressure within the general area and that it should not be assumed that visitor parking can be accommodated on the highway. You will need to demonstrate that these spaces are available.*

The communal parking areas provide 30 number parking spaces within the curtilage of the site considered acceptable in the pre application advice to th space standards requested. Following morning & evening parking surveys we can demonstrate there is an abundance of on street parking available for visitors far in excess of the 10 no. spaces required. Please refer to the submitted transport assessment by Development planning for detailed numbers.

Secure cycle parking has been provided by the provision of 2 no. secure steel cycle containers housing 8 no. cycles each within the communal parking areas. The ground floor garden areas will house a secure cycle storage shed.

*The former depot entrance opposite no. 12 Egerton Road is excluded from the application site boundary. This should be included in the red line boundary as this is not part of the adopted highway.*

The title plan has confirmed the depot entratce is included within our clients ownership therefore this is now included within the application boundary.

*Boundary treatment adjacent to parking area will need to ensure good intervisibility between the highway and the private parking areas.*

Open boundaires have been provided to the min site frontage to increase visibility.

*There is a line of trees and shrubs along the east boundary of the site within the area of public open space. These trees are in close proximity to the application site and likely to affect and be affected by development on the site. The scheme submitted suggests one tree will be removed. A tree survey of the existing trees on adjacent land where the canopies over hang the application site boundary is required in support of the application.*

There will be 6 number trees removed as part of the works & the existing overhanging branches will be lopped as part of the works. Please refer to submitted tree report by MDA landscape architect. 3 of the tress are within our clients boundary & 3 outsdie of the boundary within the public open space which will be applid for under a separate license.

*The sketch scheme indicates a contemporary approach to building design, relating the design of the proposed development to the surrounding area through use of materials and window features. This approach, subject to details, is not inappropriate. The front boundarywalls and corbelling at eaves level will add some interest to the street elevation. The design statement confirms that a minimum of 14 metres is retained between front elevations. it is unclear whether or not this includes the bay windows. Similarly it is unclear whether the 1 m set back from the back of footpath is to the front of the bay window. A minimum distance of 14.0 m is required between windows across Egerton Road and a set back of a minimum of one metre space to the front of the property should be measured to the bay window rather than the elevation to provide a small space for privacy from the public realm.*

The distance between the face of the existing propoerties on Egerton road & the face of the projecting by window of the new development will range from 15.2 - 15.4m whih is in excess of the minimum requirements. The bay window will be set back by 1.0m from the back of footpath to the glazing of the bay.

*The submission should include an assessment of any overshadowing issues, in accordance with the British Research Establishment standard.*

Following discussion with 2 seperate overshadowing consultants both recommended this assessment was not required due to the 25 degree rule stated in the BRE guide. If you draw a line at 25 degrees from the centre of the lowest window to the adjacent properties back towards the proposed developmet, then if the new development does not cut through this line the BRE states there will be no risk and a full daylight & sunlight assessment will not be required. Please refer to site section drawings submitted to demonstrate the proposed development does not cut through the 25 degree line.

*To the west of the application site, the Health Centre building is 7.5m from the proposed building units 29 and 30 and set at a lower level. There are a number of windows along this elevation. The boundary treatment to the west of the site will need to address the issues of privacy in relation to both the health centre building and the public open space. A cross section west-east will be required.*

Due to the redesign of units 27-30 the Health Centre building is now 8.2m from the new development. The boundary wall will be retained at a height of 1.2m to the rear gardens of the ground floor units, taking into account the garden level is aprox 1m higher than the floor level of the health centre & the existing windows to the Health centre are obscures we do not envisage any privacy issues to these units. The Health centre builing is single story therefore there is no privacy issues to the first floor units. Furthermore the Health centre building only faces unit 29 by an overlap of approximately 3.3m.

*Communal bin provision is proposed. The provision of bin storage in front of the residential units is not encouraged and these stores should be relocated. Given the visibility of the bins close to the road even where located adjacent to gable ends, provision of bin stores will be required to achieve a satisfactory visual appearance.*

The communal bin stores have been relocated to the rear of the site & each unit will be screened by a timber fence. Landscaping has been provided to screen the bin stores where possible. The provision of bin storage has been provided following discussion with South Tyneside council to provide 480 litres of storage for each unit in communal 1100 litre bins.

*The proposed units are very close to the boundary at the north end of the site providing no private outdoor amenity space for the occupants. The proposed rear boundary treatment will need to address the issues of privacy and light to the ground floor units. The layout of these units might be reconsidered to increase the external space around these units if possible.*

Units 27-30 have been redesigned to provide a small rear garden / terrace area in keeping with the remainder of the scheme. The existing South-West boundary wall will be lowered to 1.2m above the graden levels to improve light to these units. As noted above the privacy the existing windows to the Health Centre building are obscured & the change in level povides adequate privacy.



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## APPENDIX B

The following pages are extracted from:

South Tyneside Strategic Land Review - Outer South Shields - March 2016

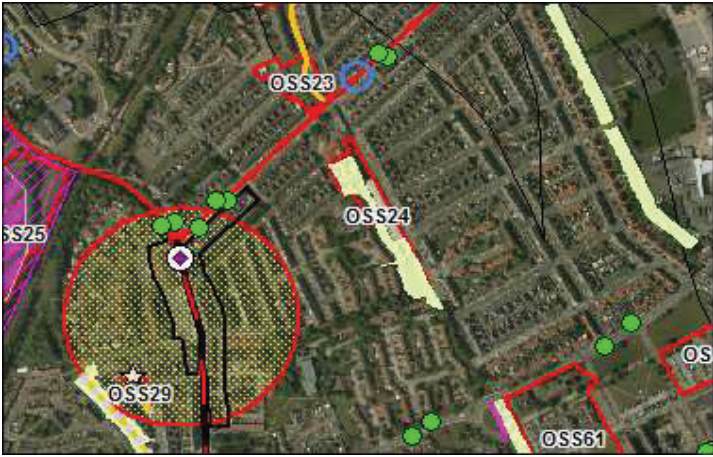
South Tyneside Strategic Land Review Sustainability Appraisal



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|                                                                                                                                                                                |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          |                                            |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------|----------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------|--------------------------------------------------------------------------------------------------------------------------|--------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-----------------------------------------------|
| SLR Ref: OSS24<br>SHLAA Ref: ss.22.001                                                                                                                                         |                           | Site Area:0.7ha                              |                                                                                                                                                                                                                                                                                                                                                                                                       | Site Location: Land at Associated Creameries and adjacent open space, Egerton Road, South Shields                                               |                                               | Is the site in the Green Belt? <div>YES <input type="checkbox"/></div> <div>NO <input checked="" type="checkbox"/></div> |                                            |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
| Land Use: Former creameries factory / Open space<br>Adjacent Uses: Residential / Commercial                                                                                    |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       | Site appraised for: Residential / B-use class Economic Devt                                                                                     |                                               | Green Belt Separation                                                                                                    |                                            | Would development on this site impact upon the five purposes of the Green Belt?                                                                                                                                                                         |                                                                                                                                                                                             | Impact                              | No impact                                     |
| <div>Site Photos</div>                                                                         |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       | <div>Designations Map</div>                                   |                                               |                                                                                                                          |                                            | 1. Check unrestricted sprawl of the built-up area?                                                                                                                                                                                                      |                                                                                                                                                                                             | <input type="checkbox"/>            | <input type="checkbox"/>                      |
|                                                                                                                                                                                |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          |                                            | 2. Safeguard borough countryside from encroachment?                                                                                                                                                                                                     |                                                                                                                                                                                             | <input type="checkbox"/>            | <input type="checkbox"/>                      |
|                                                                                                                                                                                |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          |                                            | 3. Prevent merging of South Tyneside with Sunderland, Washington or Gateshead?                                                                                                                                                                          |                                                                                                                                                                                             | <input type="checkbox"/>            | <input type="checkbox"/>                      |
|                                                                                                                                                                                |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          |                                            | 4. Preserve the special & separate characteristics of the Urban Fringe villages?                                                                                                                                                                        |                                                                                                                                                                                             | <input type="checkbox"/>            | <input type="checkbox"/>                      |
| <div></div> |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       | <div>Key Designations / Allocations:</div> <div>LDF Housing Allocation / Coal Resource and Standing Advice Area / Recreational Open Space</div> |                                               | <div>Adjacent Designations / Allocations:</div> <div>District and Local Neighbourhood Shopping Centre</div>              |                                            | 5. Assist in the regeneration of the urban area?                                                                                                                                                                                                        |                                                                                                                                                                                             | <input type="checkbox"/>            | <input type="checkbox"/>                      |
|                                                                                                                                                                                |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          |                                            | Note: This assessment assumes that if there is a need to allocate Green Belt sites for development then this will be undertaken through the Local Plan process in a manner which would not be contrary to assisting the regeneration of the urban area. |                                                                                                                                                                                             |                                     |                                               |
|                                                                                                                                                                                |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               | Zero/Low Impact - no or minimal mitigation required                                                                      |                                            | Medium Impact - mitigation required                                                                                                                                                                                                                     | High Impact – significant mitigation required                                                                                                                                               |                                     |                                               |
| Landscape and Townscape                                                                                                                                                        |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               | Biodiversity                                                                                                             |                                            |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
| Category 1: Significant Constraints                                                                                                                                            | Grade I Agricultural Land |                                              | The Landscape Character Study (2012) identifies the site within a largely fragmented residential area. This specifically, sets out that linear green space networks should be retained. Therefore as this site is a small scale site located within a narrow green corridor, it is considered that developing this site would have a medium impact on the townscape and mitigation would be required. |                                                                                                                                                 |                                               | Category 1: Significant Constraints                                                                                      | Ramsar Site                                |                                                                                                                                                                                                                                                         | The site has no biodiversity designations but does contain mature trees. It is considered that developing the site would have a low impact. Mitigation would be required where appropriate. |                                     |                                               |
|                                                                                                                                                                                | Category 2: Constraints   | Area of High Landscape Value or Significance |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          |                                            | Special Protection Area (SPA)                                                                                                                                                                                                                           |                                                                                                                                                                                             |                                     |                                               |
| Woodland Plantation                                                                                                                                                            |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          | Special Area of Conservation (SCA)         |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
| Tree Preservation Order (TPO)                                                                                                                                                  |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          | Site of Special Scientific Interest (SSSI) |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
| Grade 2 or 3a Agricultural Land                                                                                                                                                |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               | Local Nature Reserve                                                                                                     |                                            |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
| Area of Significant Historic Landscape                                                                                                                                         |                           |                                              | Zero/Low Impact - no or minimal mitigation required                                                                                                                                                                                                                                                                                                                                                   | Medium Impact - mitigation required                                                                                                             | High Impact – significant mitigation required | Category 2: Constraints                                                                                                  | Local Wildlife Site (LWS)                  |                                                                                                                                                                                                                                                         | Zero/Low Impact - no or minimal mitigation required                                                                                                                                         | Medium Impact - mitigation required | High Impact – significant mitigation required |
|                                                                                                                                                                                |                           |                                              | <input checked="" type="checkbox"/>                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                 |                                               |                                                                                                                          | Local Geodiversity Site (LGS)              |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
|                                                                                                                                                                                |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          | Great Crested Newt Pond (+500m buffer)     |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
|                                                                                                                                                                                |                           |                                              |                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                 |                                               |                                                                                                                          | Wildlife Corridor                          |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
|                                                                                                                                                                                |                           |                                              | Are there any known protected / DBAP species or habitats on the site?                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                 | Unknown                                       |                                                                                                                          | <input checked="" type="checkbox"/>        |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |
|                                                                                                                                                                                |                           |                                              | Would the development of the site impact upon the connectivity of habitats?                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                 | Unlikely                                      |                                                                                                                          |                                            |                                                                                                                                                                                                                                                         |                                                                                                                                                                                             |                                     |                                               |

| Historic Environment and Culture    |                                                                           |    |                                                                                                                                                                                                                                                                                                                                                            |                                     | Green Infrastructure                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|-------------------------------------|---------------------------------------------------------------------------|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------|-----------------------------------------------|-------------------------------------|-----------------------------------------------|
| Category 1: Significant Constraints | Scheduled Ancient Monument (+ 50m buffer zone if not designated)          |    | Does the site have any historical or archaeological significance?<br>There is no historical or archaeological significance onsite.                                                                                                                                                                                                                         |                                     |                                                                                                                                                                             | Category 1: Significant Constraints                                                                                                                                                                                                                                                                                                    | Historic Park or Garden (EH List)         |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   | It is considered that developing this site would have a medium impact as it is a ‘local Site’ in an area with limited open space. However there are adjacent green infrastructure areas. Mitigation would be required where appropriate. |                                                 |                                               |                                     |                                               |
|                                     | World Heritage Site & Setting (+ candidate)                               |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        | Village Green                             |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     | Grade I/Grade II*Listed Building/Structure                                |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        | Cemetery / Churchyard                     |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
| Category 2: Constraints             | Grade II Listed Building/Structure                                        |    | Developing this site is considered to have a zero/low impact upon historic environment and culture. Mitigation would only be required where appropriate.                                                                                                                                                                                                   |                                     |                                                                                                                                                                             | Category 2: Constraints                                                                                                                                                                                                                                                                                                                | Public Open Space/Playing Field/Play Area |                                                                                                                                                     | ✓                                                                                                                                                                                                                                                                                                                                                                                                 | Zero/Low Impact - no or minimal mitigation required                                                                                                                                                                                      |                                                 |                                               | Medium Impact - mitigation required | High Impact – significant mitigation required |
|                                     | Conservation Area                                                         |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        | Allotment                                 |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     | Archaeological Site (Known & potential)                                   |    | Public Right of Way (cycleway/ footpath/bridleway)                                                                                                                                                                                                                                                                                                         |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     | Locally-Listed Building/ Structure/ Space                                 |    | Green Infrastructure corridor                                                                                                                                                                                                                                                                                                                              |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     |                                                                           |    |                                                                                                                                                                                                                                                                                                                                                            |                                     | Is the proposed development site designated as open space or playing fields?                                                                                                |                                                                                                                                                                                                                                                                                                                                        | Yes                                       |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     |                                                                           |    |                                                                                                                                                                                                                                                                                                                                                            |                                     | What is the site quality score identified in SPD3?                                                                                                                          |                                                                                                                                                                                                                                                                                                                                        | 37                                        |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
| Flooding                            |                                                                           |    |                                                                                                                                                                                                                                                                                                                                                            |                                     | Infrastructure and Services                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
| Category 1: Significant Constraints | Flood Risk Zone 3B (Functional Floodplain)                                | 0% | Partial surface water flooding issues have been identified on the site, by the SFRA (2011) and surface water flood maps. See SFRA for further details. Developing this site is considered to have a low impact in regards to flooding and mitigation would only be required where appropriate.                                                             |                                     |                                                                                                                                                                             | Is there road capacity for site traffic generation?                                                                                                                                                                                                                                                                                    |                                           | ?                                                                                                                                                   | It is considered that the site would have a medium impact in regards to capacity and access to infrastructure and services. It has good access to services and would increase critical mass, but if developed would result in the loss of open space. The scale of development is not considered to put significant pressure on local capacity, particularly roads. Mitigation would be required. |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     | Flood Risk Zone 3A (High Vulnerability)                                   | 0% |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             | Is there water and sewerage capacity for site requirements?                                                                                                                                                                                                                                                                            |                                           | ?                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     |                                                                           |    |                                                                                                                                                                                                                                                                                                                                                            |                                     | Is there education/community/health facility capacity for site requirements?                                                                                                |                                                                                                                                                                                                                                                                                                                                        | ✓                                         |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     |                                                                           |    |                                                                                                                                                                                                                                                                                                                                                            |                                     | What is the broad accessibility of the site to local road network, local shopping services, public transport, education, community, and green infrastructure opportunities? |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
| Category 2: Constraints             | Flood Risk Zone 2(Medium Vulnerability)                                   | 0% | Zero/Low Impact - no or minimal mitigation required                                                                                                                                                                                                                                                                                                        | Medium Impact - mitigation required | High Impact – significant mitigation required                                                                                                                               | The site is reasonably close to local shopping services and has good access to green infrastructure at West Park, and allotments but is lacking in immediate access to children’s play facilities. It is also reasonably close to bus stops and Tyne Dock Metro Station. There are education and community facilities in the locality. |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   | Zero/Low Impact - no or minimal mitigation required                                                                                                                                                                                      | Medium Impact - mitigation required             | High Impact – significant mitigation required |                                     |                                               |
|                                     | Surface Water Flooding                                                    | ✓  |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
| Ground Conditions & Contamination   |                                                                           |    |                                                                                                                                                                                                                                                                                                                                                            |                                     | Deliverability                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
| Site Topography                     | Predominantly Flat                                                        | ✓  | The site is not within an area for further investigation in relation to contamination; however it was a former railway line. It is within a Mineral Safeguarding Area, but below the threshold where prior extraction of minerals would have to be considered further. Site is considered to have a zero/low impact and mitigation would only be required. |                                     |                                                                                                                                                                             | What is considered deliverable on the site?                                                                                                                                                                                                                                                                                            |                                           | It is considered that site is within a viable area for residential, but not in a broad strong market location for B-use class economic development. |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     | Gentle Slope                                                              |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             | How many homes could be provided?                                                                                                                                                                                                                                                                                                      |                                           | 32                                                                                                                                                  | Site would significantly support economic growth and/or regeneration priorities?                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     | Undulating                                                                |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             | How many jobs could the site provide for?                                                                                                                                                                                                                                                                                              |                                           |                                                                                                                                                     | Site would directly support the Sunderland and the North East City Deal’s proposed International Advanced Manufacturing Park?                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     | Steep Slope                                                               |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
| Category 1: Significant Constraints | Health & Safety Executive (HSE) COMAH Development Proximity or Inner Zone |    | Zero/Low Impact - no or minimal mitigation required                                                                                                                                                                                                                                                                                                        | Medium Impact - mitigation required | High Impact – significant mitigation required                                                                                                                               | Due to the site’s overall low impacts, it is considered suitable for residential development, but is unlikely to be viable for new B-use class economic development. The open space part of the site is potentially suitable for development, but the impact on green infrastructure would need to be considered further.              |                                           |                                                                                                                                                     | Site is considered suitable for development                                                                                                                                                                                                                                                                                                                                                       | Site is considered potentially suitable for development                                                                                                                                                                                  | Site is not considered suitable for development |                                               |                                     |                                               |
|                                     | Electricity Pylon (+ 10m buffer zone)                                     |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
| Category 2: Constraints             | HSE COMAH Middle or Outer Zone                                            |    | Zero/Low Impact - no or minimal mitigation required                                                                                                                                                                                                                                                                                                        | Medium Impact - mitigation required | High Impact – significant mitigation required                                                                                                                               |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     | Site is considered suitable for development                                                                                                                                                                                                                                                                                                                                                       | Site is considered potentially suitable for development                                                                                                                                                                                  | Site is not considered suitable for development |                                               |                                     |                                               |
|                                     | Landfill sites, Contaminated land                                         |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     | Minerals Legacy (quarries and coal mining)                                |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |
|                                     | High Voltage electricity line(+10m buffer zone)                           |    |                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                        |                                           |                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                          |                                                 |                                               |                                     |                                               |



## SLR Sustainability Appraisal – Site Assessment Proforma

SLR Site Ref: OSS24

**Site Name:** Land at Associated Creameries and adjacent open space, Egerton Road, South Shields

Site Size: 0.7ha

| Sustainability Objective                |                                                                            | Site Sustainability Assessment Criteria                |          |          |          |       | Comment                                                                                                                                                                                                                                                                                                                                    |  | Final Impact |                         |    |
|-----------------------------------------|----------------------------------------------------------------------------|--------------------------------------------------------|----------|----------|----------|-------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------|-------------------------|----|
| 1                                       | Adapt to and mitigate the impacts of climate change in South Tyneside      | Does the site fall within a flood risk zone?           |          |          |          |       | Development of this site is unlikely to contribute to mitigating the impacts of climate change itself. Minor surface water flooding issues have been identified by the SFRA (2011). Mitigation will be required on this site.                                                                                                              |  | +/-          |                         |    |
|                                         |                                                                            | No flood risk                                          |          | ◆        |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | Surface Water Flooding                                 |          | +/- ✓    |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | Flood Risk Zone 2                                      |          | -        |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | Flood Risk Zone 3A or 3B                               |          | --       |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
| 2                                       | Conserve and enhance biodiversity                                          | Distance from:                                         |          |          |          |       | It is considered that this site will have little or no impact on biodiversity; however, the site should be subject to a HRA to determine any potential impact upon European sites.                                                                                                                                                         |  | +/-          |                         |    |
|                                         |                                                                            |                                                        | <50m     | >51-250m | 251-1km  | >1km  |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            |                                                        | --       | -        | +/-      | ◆     |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | LWS                                                    |          |          |          | ✓     |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | LNR                                                    |          |          |          | ✓     |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | SSSI                                                   |          |          |          | ✓     |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | Distance from European Site:                           |          | 3.0km    |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
| 3                                       | Safeguarding our environmental assets and natural resources                | Distance from Area of High Landscape Value:            |          |          |          |       | It is considered that development of this site may have a neutral effect on safeguarding environmental assets and natural resources. With regard to AQMA's, due to the site's scale and being within 220m to the Boldon Lane AQMA, it is considered that there is potential for an effect. Mitigation could be required where appropriate. |  | +/-          |                         |    |
|                                         |                                                                            | <50m                                                   | >51-250m | 251-500m | >501m    |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | --                                                     | -        | +/-      | ◆        |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            |                                                        |          |          | ✓        |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | Distance from existing mineral workings?               |          |          |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | <1km                                                   | --       |          | > 1km    | +     |                                                                                                                                                                                                                                                                                                                                            |  |              | ✓                       |    |
|                                         |                                                                            | Distance to AQMA?                                      |          |          |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | <100m                                                  | 101m-1km | > 1km    |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | --                                                     | -        | +/-      |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | ✓                                                      |          |          |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
| 4                                       | Protecting our Green Belt                                                  | Is the Site:                                           |          |          |          |       | This site is non- Green Belt Land. Therefore development of this site is considered to have a positive effect against this objective as it could divert development away from Green Belt land.                                                                                                                                             |  | +            |                         |    |
|                                         |                                                                            | Green Belt                                             |          | -        |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | Brownfield land in Green Belt                          |          | +/-      |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | Non- Green Belt                                        |          | +        |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
| 5                                       | Enhancing our green infrastructure                                         | Does the site include recreational facilities or PROW? |          |          |          |       | It is considered that development of this site could have a negative effect upon on the objective as it would result in a loss of recreational open.                                                                                                                                                                                       |  | -            |                         |    |
|                                         |                                                                            | No                                                     |          | Yes      | ✓        | Type: |                                                                                                                                                                                                                                                                                                                                            |  |              | Recreational Open Space |    |
|                                         |                                                                            | Identify Impact                                        | --       | -        | ◆        | +/-   |                                                                                                                                                                                                                                                                                                                                            |  |              | +                       | ++ |
|                                         |                                                                            |                                                        |          | ✓        |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | Is the site within a GI Corridor?                      |          |          |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | Yes                                                    |          | No       | ✓        |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
| 6                                       | Protect, enhance and promote South Tyneside's heritage and cultural assets | Distance from:                                         |          |          |          |       | The site is not within close proximity to any heritage assets. It is considered that the development of this site would have no effect against this objective.                                                                                                                                                                             |  | ◆            |                         |    |
|                                         |                                                                            |                                                        | 0-25m    | >26-150m | 151-250m | >250m |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            |                                                        | --       | -        | +/-      | ◆     |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | WHS                                                    |          |          |          | ✓     |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
|                                         |                                                                            | SAM                                                    |          |          |          | ✓     |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
| Listed Building                         |                                                                            |                                                        |          | ✓        |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
| Is the site within a conservation area? |                                                                            |                                                        |          |          |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |
| Yes                                     |                                                                            | No                                                     | ✓        |          |          |       |                                                                                                                                                                                                                                                                                                                                            |  |              |                         |    |

|    |                                                                                                   |                                                                                                        |           |             |    |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|----|---------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|-----------|-------------|----|------|---|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|--|
|    |                                                                                                   | Identify impact                                                                                        | --        | -           | ◆  | +/-  | + | ++ |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   |                                                                                                        |           |             | ✓  |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
| 7  | Promote sustainable transport and accessibility                                                   | Is the site within 400m of public transport?                                                           |           |             |    |      |   |    | The site is in close proximity to numerous public transport links.                                                                                                                                                                                                                                                                                                                                                                                                                       | +  |  |
|    |                                                                                                   | Yes                                                                                                    | +         | ✓           | No | -    |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
| 8  | Ensure the vitality of our town centres and villages                                              | Distance to town, district or local centre?                                                            |           |             |    |      |   |    | This site is in close proximity to an existing district centre, Boldon Lane shops.                                                                                                                                                                                                                                                                                                                                                                                                       | ++ |  |
|    |                                                                                                   | <400m                                                                                                  | 401 – 1km |             |    | >1km |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | ++                                                                                                     | +         |             |    | +/-  |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | ✓                                                                                                      |           |             |    |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
| 9  | Encourage and support economic growth within South Tyneside                                       | Is the site suitable for employment use in the SLR?                                                    |           |             |    |      |   |    | This site is not considered suitable for employment use in the SLR.                                                                                                                                                                                                                                                                                                                                                                                                                      | ◆  |  |
|    |                                                                                                   | Yes                                                                                                    | ++        |             | No | ◆    | ✓ |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
| 10 | Increase opportunities for employment and education and improve living standards                  | How many jobs could the site provide?                                                                  |           |             |    |      |   |    | This site is not considered suitable for employment use in the SLR.                                                                                                                                                                                                                                                                                                                                                                                                                      | ◆  |  |
|    |                                                                                                   | 1-50                                                                                                   | 51- 200   |             |    | 201+ |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | +/-                                                                                                    | +         |             |    | ++   |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   |                                                                                                        |           |             |    |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
| 11 | Promote equality of opportunity and access and promote good relations between diverse communities | Objective Scoped Out – It is not considered possible to spatially assess sites against this criterion. |           |             |    |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
| 12 | Provide better housing, neighbourhoods and good design                                            | Is the site suitable for housing use in the SLR?                                                       |           |             |    |      |   |    | Development of this site for housing could contribute to providing better housing and neighbourhoods in this area.                                                                                                                                                                                                                                                                                                                                                                       | +  |  |
|    |                                                                                                   | Yes                                                                                                    | ✓         | No          | ◆  |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | How many homes could the site provide?                                                                 |           |             |    |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | 1-10                                                                                                   | 11-50     |             |    | 51+  |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | +/-                                                                                                    | +         |             |    | ++   |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   |                                                                                                        | ✓         |             |    |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
| 13 | Promote healthier people and communities                                                          | Distance to healthcare facilities                                                                      |           |             |    |      |   |    | Development of this site could score positively against this objective as the site is in close proximity to existing healthcare facilities and areas of recreational open space. The loss of playing pitches could have a negative effect against this objective, however new residential development may also contribute to improving living standards and reducing health inequalities in the borough. It is considered that this site would have a positive impact on this objective. | +  |  |
|    |                                                                                                   | <100m                                                                                                  | 101-400m  | 401m – 999m |    | >1km |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | ++                                                                                                     | +         | +/-         |    | -    |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | ✓                                                                                                      |           |             |    |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | Distance to identified area of recreational open space                                                 |           |             |    |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | <100m                                                                                                  | 101-400m  | 401m – 999m |    | >1km |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   | ++                                                                                                     | +         | +/-         |    | -    |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |
|    |                                                                                                   |                                                                                                        | ✓         |             |    |      |   |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |  |

| Assessment Summary                                                                                                                                                                     | 1   | 2   | 3   | 4 | 5 | 6 | 7 | 8  | 9 | 10 | 11 | 12 | 13 |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|-----|-----|---|---|---|---|----|---|----|----|----|----|
|                                                                                                                                                                                        | +/- | +/- | +/- | + | - | ◆ | + | ++ | ◆ | ◆  |    | +  | +  |
| This site scores positively against a number of objectives. The loss of open space if the site was developed would require some form of mitigation to minimise the effect of its loss. |     |     |     |   |   |   |   |    |   |    |    | +  |    |